

**SITE PLAN LEGEND:**

- Studied Block property line
- Other Property lines and elements
- Trees
- Entrance of Existing structures
- Existing Structures in the vicinity
- Existing Structures on studied block
- LON: / LAT:** Coordinates from ACT MAPI

**NOTE:**  
 - Block Type: LARGE  
 - Source: Contours Survey  
 - Date of Surveyor visit: 07/07/2021

**DEMOLITION LEGEND:**

- Elements to be demolished or removed
- Label for elements to be demolished or removed



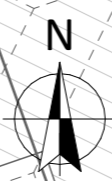
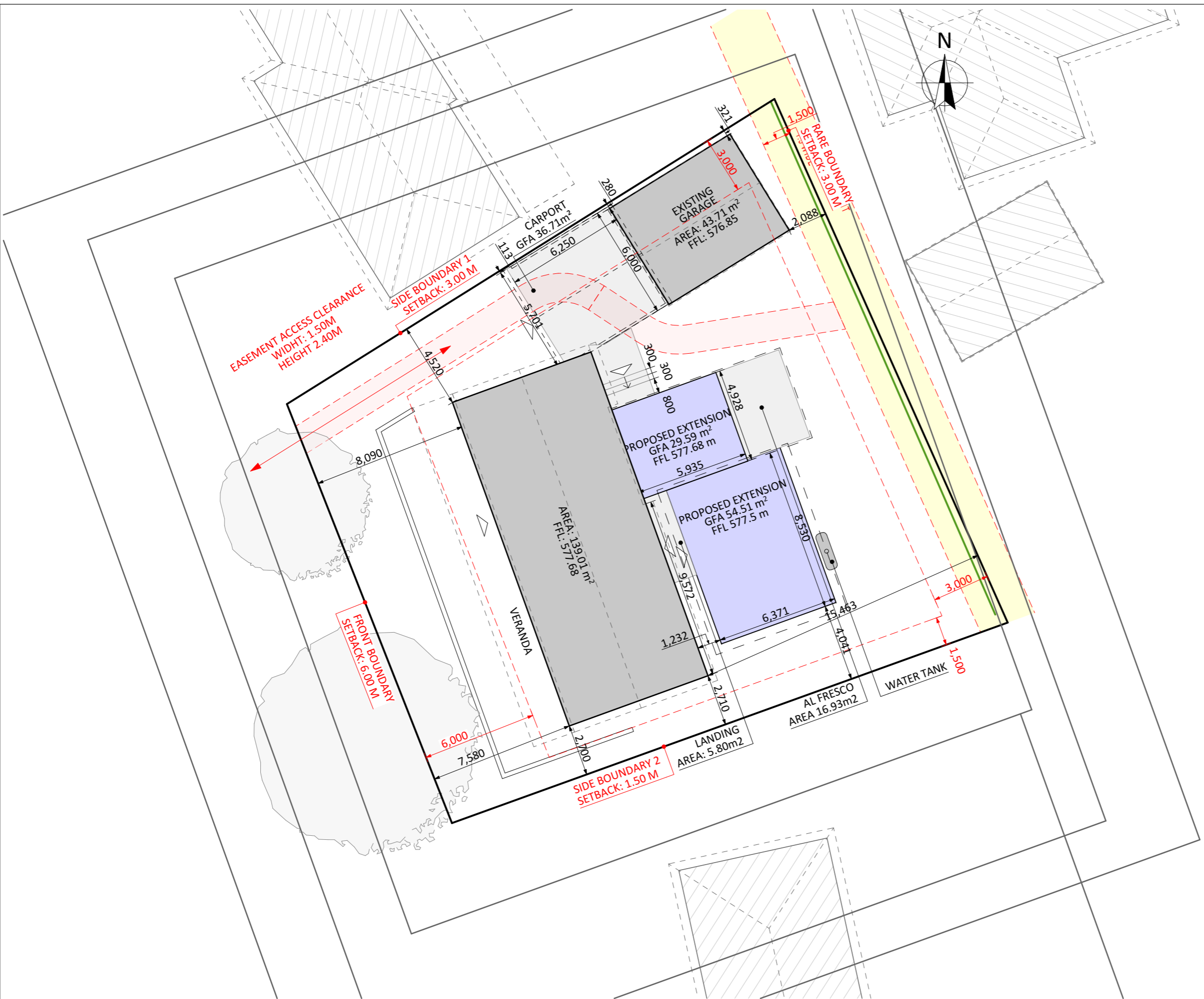
PROJECT DETAILS			
Customer Name: Sandhya Patel			
Project Address: 67 MacCallum Circuit, Florey ACT 2615			
Block No 18			
Section No 133			
ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
V.D.	JAMIE	v.15	LARGE

AREAS	
Proposed Extension GFA	85.54 m <sup>2</sup>
Proposed Roof Area	156.70 m <sup>2</sup>
Block Area	811.00 m <sup>2</sup>
Actual Block Ratio	27.51 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	439.71 m <sup>2</sup>
Minimum Private Open Space [(Block area x 0.60) - 50]	436.60 m <sup>2</sup>

REV	DESIGN PHASE	DATE
C3.0	CONCEPT DESIGN	6/22/2022

CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
SITE PLAN - DEMOLITION			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	1.1	0858



**SITE PLAN LEGEND:**

- Studied Block property line
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- Existing Structures in the vicinity
- Existing Structures on studied block
- Proposed Structure

**NOTE:**  
 - Block Type: LARGE  
 - Source: Contours Survey  
 - Date of Surveyor visit: 07/07/2021

**EASEMENT LEGEND:**

- Easement maintenance access
- Stormwater easement
- Sewer easement
- Electrical easement
- Stormwater overlapping Electrical easement
- Sewer overlapping Electrical easement
- Stormwater overlapping Sewer easement
- Gas easement
- Right of Way easement
- Telecommunications easement
- Water easement



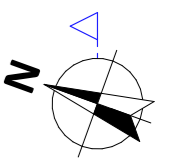
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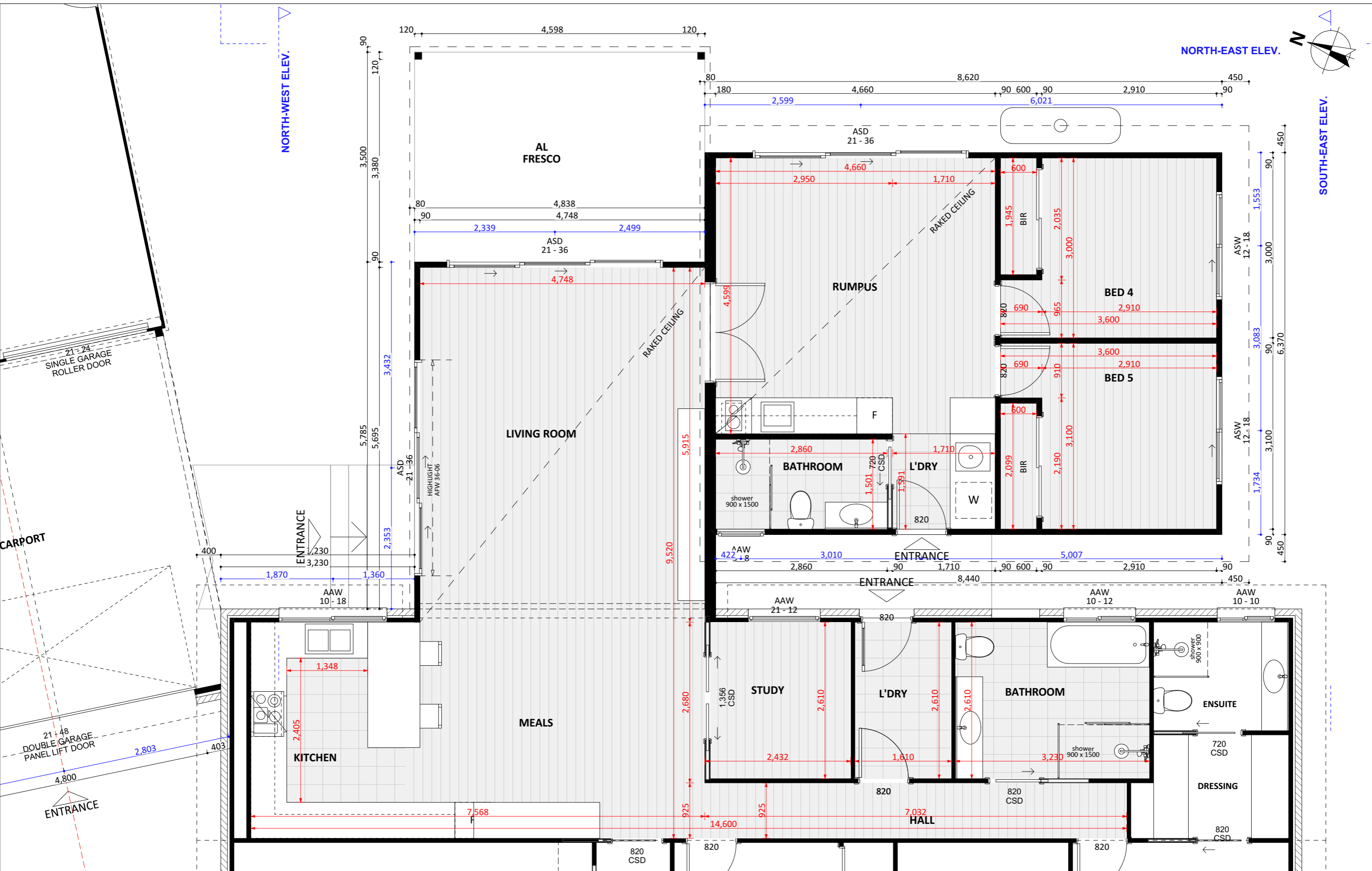
DRAWING NAME			
SITE PLAN - NEW			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	1.2	0858



NORTH-EAST ELEV.

SOUTH-EAST ELEV.

NORTH-WEST ELEV.



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C3.0	CONCEPT DESIGN	6/22/2022
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
FLOOR PLAN - DIMENSIONS - FLOOR PLAN			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
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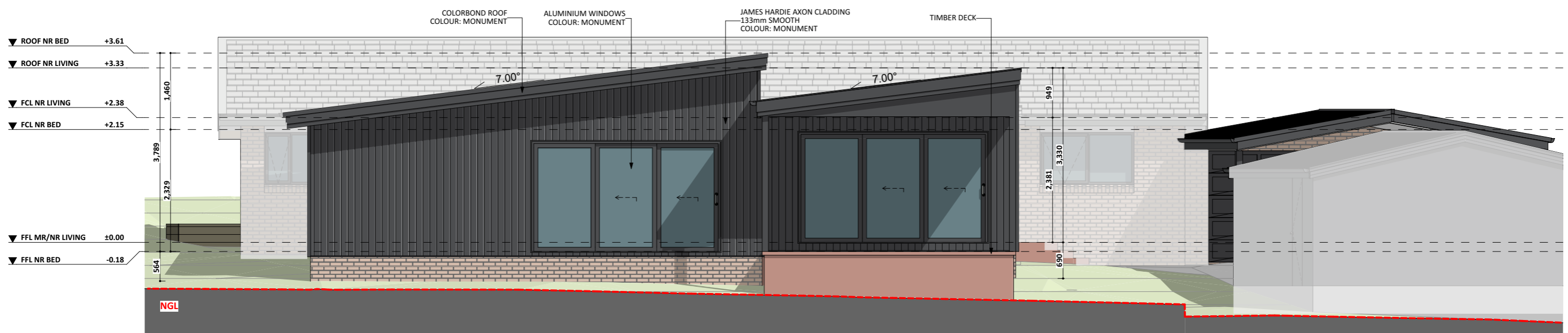
PROJECT DETAILS			
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Section No 133			
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C3.0	CONCEPT DESIGN	6/22/2022
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
FLOOR PLAN - FURNITURE			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:55.56	A3	1.5	0858

**NOTE:**  
 - Source: Contours Survey  
 - Date of Surveyor visit: 07/07/2021  
 - For Solar Envelope and Building Envelope, see drawing: "SOLAR AND BUILDING ENVELOPE"



**NORTH-EAST ELEV.**



**NORTH-WEST ELEV.**



**SOUTH-EAST ELEV.**



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CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME			
<b>ELEVATIONS 1</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:75	A3	1.6	0858





PROJECT DETAILS			
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Section No 133			
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CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
SNAPSHOT 1			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	2.1	0858





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CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME			
SNAPSHOT 2			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	2.2	0858





PROJECT DETAILS			
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Project Address: 67 MacCallum Circuit, Florey ACT 2615			
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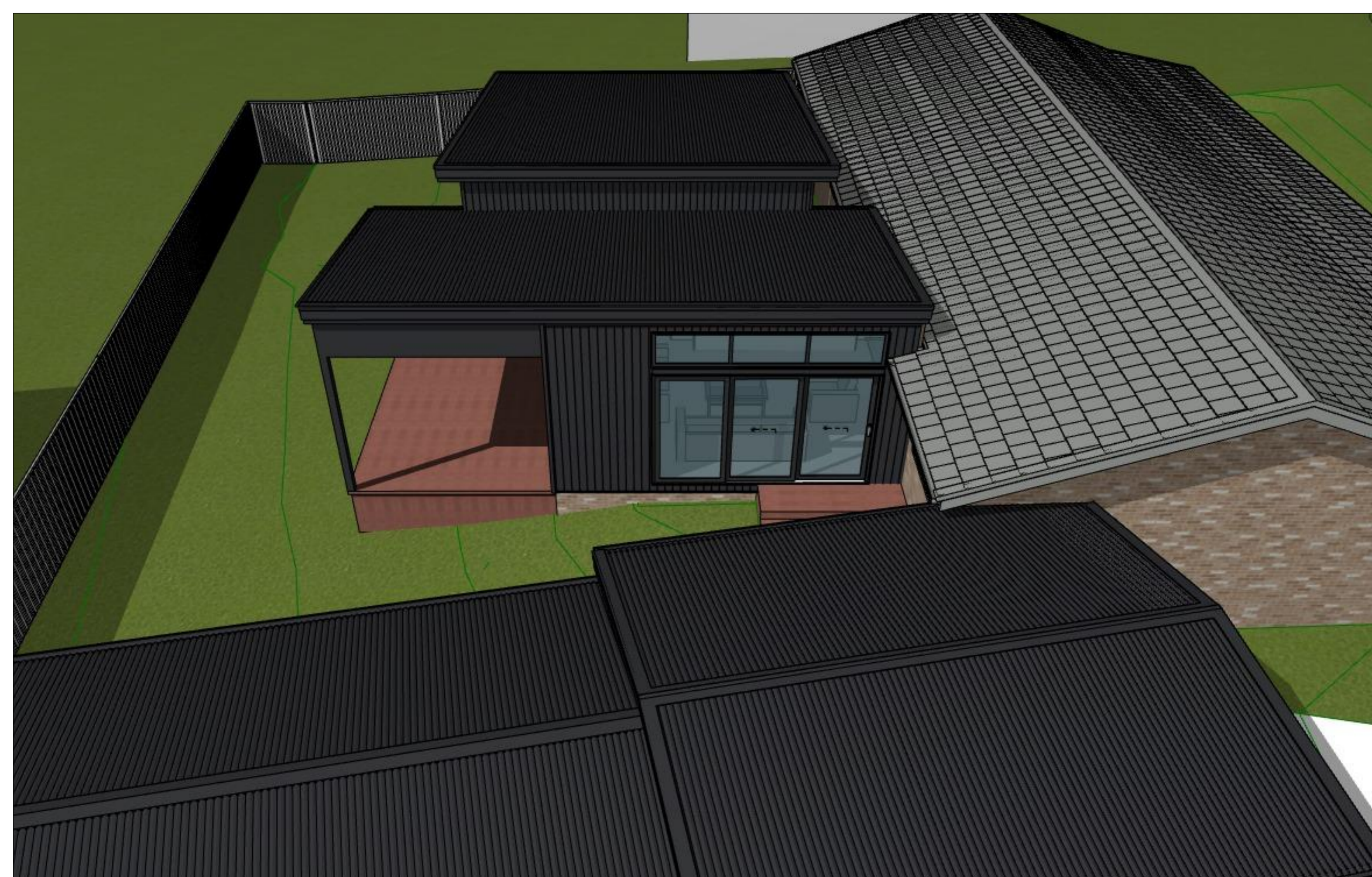
REV	DESIGN PHASE	DATE
C3.0	CONCEPT DESIGN	6/22/2022

CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
SNAPSHOT 3			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	2.3	0858





PROJECT DETAILS			
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Project Address: 67 MacCallum Circuit, Florey ACT 2615			
Block No 18			
Section No 133			
ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
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C3.0	CONCEPT DESIGN	6/22/2022

CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
SNAPSHOT 4			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	2.4	0858





PROJECT DETAILS			
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Block No 18			
Section No 133			
ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
V.D.	JAMIE	v.15	LARGE

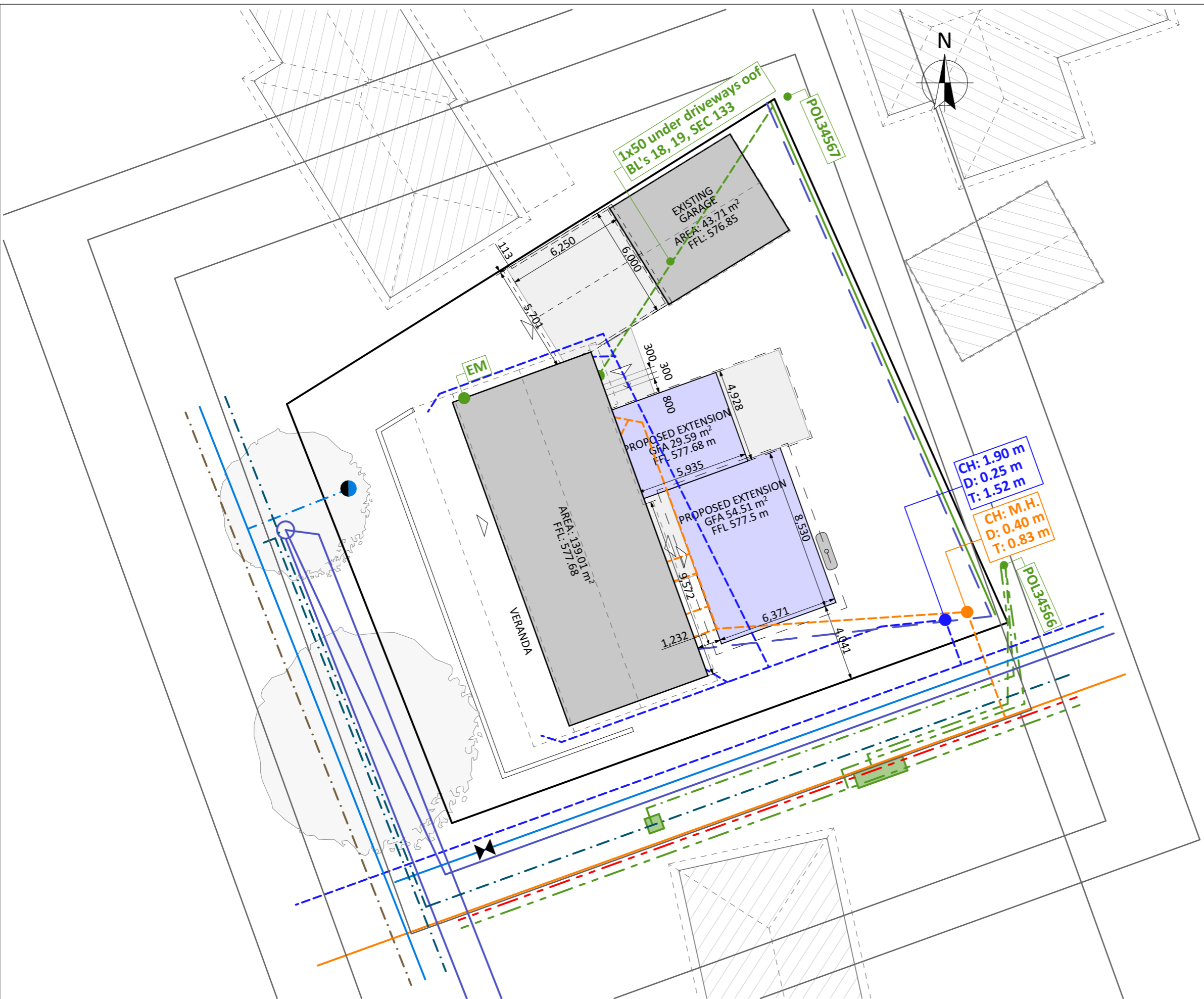
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CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
SNAPSHOT 5			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	2.5	0858



- ELECTRICITY NETWORK LEGEND**
- Overhead Service Line, In Service
  - Underground Service Line, In Service
  - Underground Service Line, Abandoned
  - Overhead LV Electric Line
  - Underground LV Electric Line, In Service
  - Overhead HV Electric Line
  - Underground HV Electric Line, In Service
  - Electricity Meter (EM)
  - Service Point
  - Ground Mounted Structure

- GAS NETWORK LEGEND**
- Distribution Main, PE, In Service
  - Gas Meter (GM)
  - Gas meter was not identified

- SEWER NETWORK LEGEND**
- Reticulation Main
  - Trunk Main
  - Property Service Line
  - Stormwater
  - Service Connection

**NOTE:**

- The position of the Underground Property Service Line to Reticulation Main is assumed, not confirmed.
- The position of the Stormwater Service Line was missing from the documents.

- WATER NETWORK LEGEND**
- Distribution Main
  - Reticulation Main
  - Domestic Service
  - Billing Small Diameter
  - Spryng Hydrant
  - Isolation

- TELECOMMUNICATION NETWORK LEGEND**
- NBN Trench INSERVICE / CONSTRUCTED with underground Telstra cable
  - Telstra - Aerial cable

**NOTE:**

- The position of the Underground Trench is not 100% accurate.

- STREETLIGHT NETWORK LEGEND**
- Underground Cable
  - Light Pole

**NOTE:**

- Source: Contours Survey
- Date of Site Inspection visit: #####
- Date of Surveyor visit: 07/07/2021

- It is recommended to check these informations on site, and read the full documentation of the Dial Before You Dig documentation.



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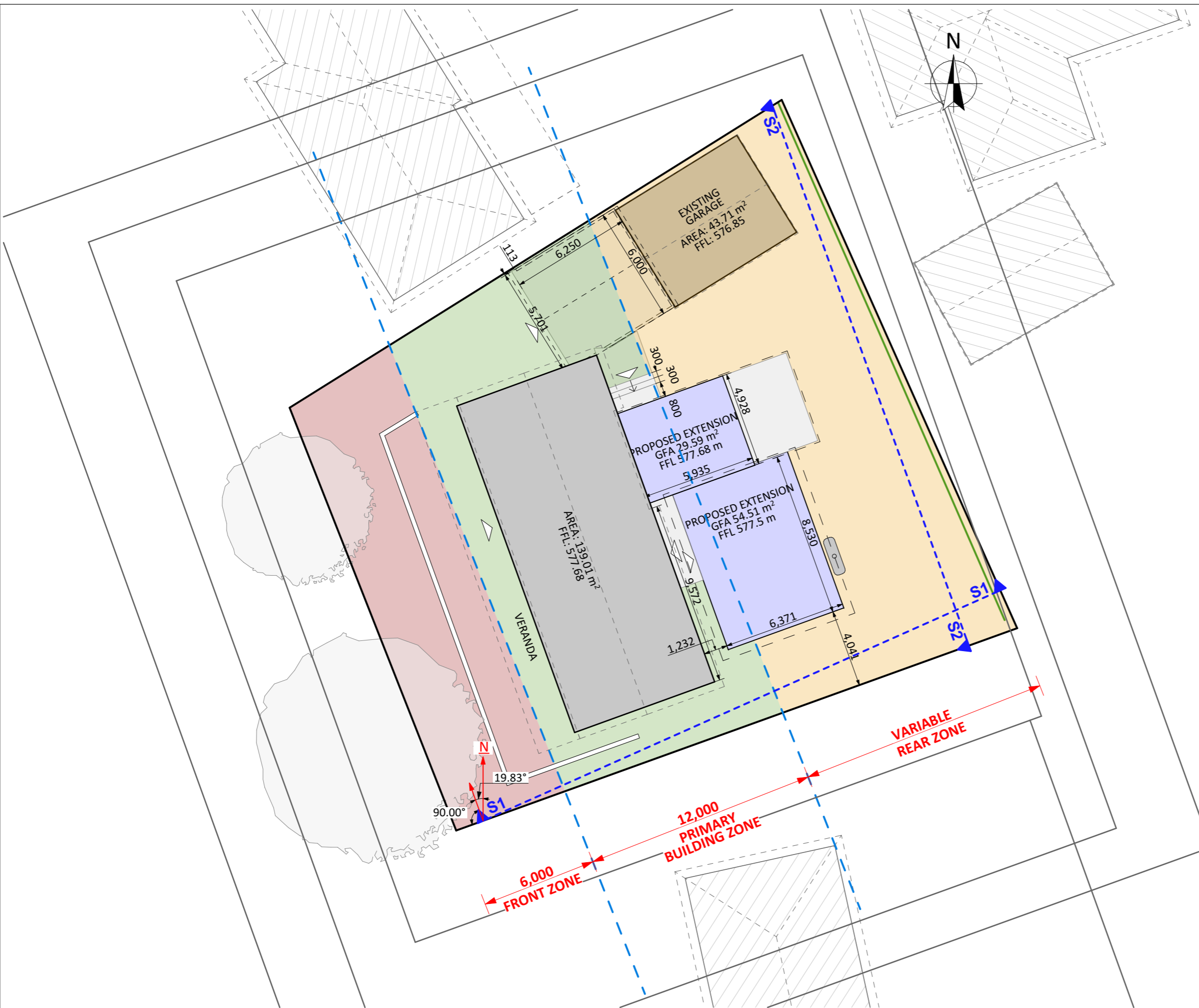
REV	DESIGN PHASE	DATE
C3.0	CONCEPT DESIGN	6/22/2022

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME			
<b>SERVICES PLAN</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	4.1	0858





**NOTES:**

**Front Zone**

- The Front Zone is usually the area between the Front Boundary and the Building Line. The Building Line can be determined using the rule below
- If the minimum setback requirement is greater than the distance to the building line, then it is this distance that will determine the Front Zone. This is rare. Typically, the minimum setback from the front boundary is 6m
- The Front Zone can also not have a length greater than 10 metres into the block. Again this is rare.

**Building Line**

- This is a line drawn parallel to the front boundary along the front face of a building, or through the point on the building which is closest to the front boundary.
- A terrace, landing, porch, balcony, deck or verandah that is more than 1.5 metres above finished ground level or is covered by a roof is deemed to be part of the building. A fence, courtyard wall or retaining wall is not deemed to be part of the building.

**Primary Building Zone**

- The area between the front zone and a line projected 12 metres from this zone.

**Rear zone**

- The area of the block behind the Primary Building Zone

**Perpendicular line from boundaries**

- A line drawn at a right angle (90 degrees) from the boundary
- This does not need to be completed if there is no adjoining residential block

**Line with a bearing of North**

- A line drawn that goes directly North
- This should be drawn from the same point that the Perpendicular line from the Boundary is drawn
- This does not need to be completed if there is no adjoining residential block

**Angle between the Line with a Bearing of North and Perpendicular Line from Boundary**

- The angle measured between these two lines
- This angle should always be less than 180 degrees

**LEGEND**

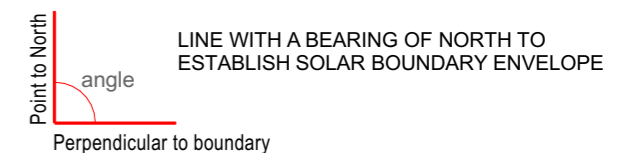
SYMBOL DESCRIPTION

- BUILDING LINE
- S1** PLOT PROFILE LINE FOR SOLAR AND BUILDING ENVELOPE. PERPENDICULAR TO THE RELEVANT BOUNDARY LINE

FRONT ZONE

PRIMARY BUILDING ZONE

REAR ZONE



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DRAWING NAME			
<b>BUILDING ZONE</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	4.2	0858

**NOTES:**  
**BUILDING ENVELOPE**

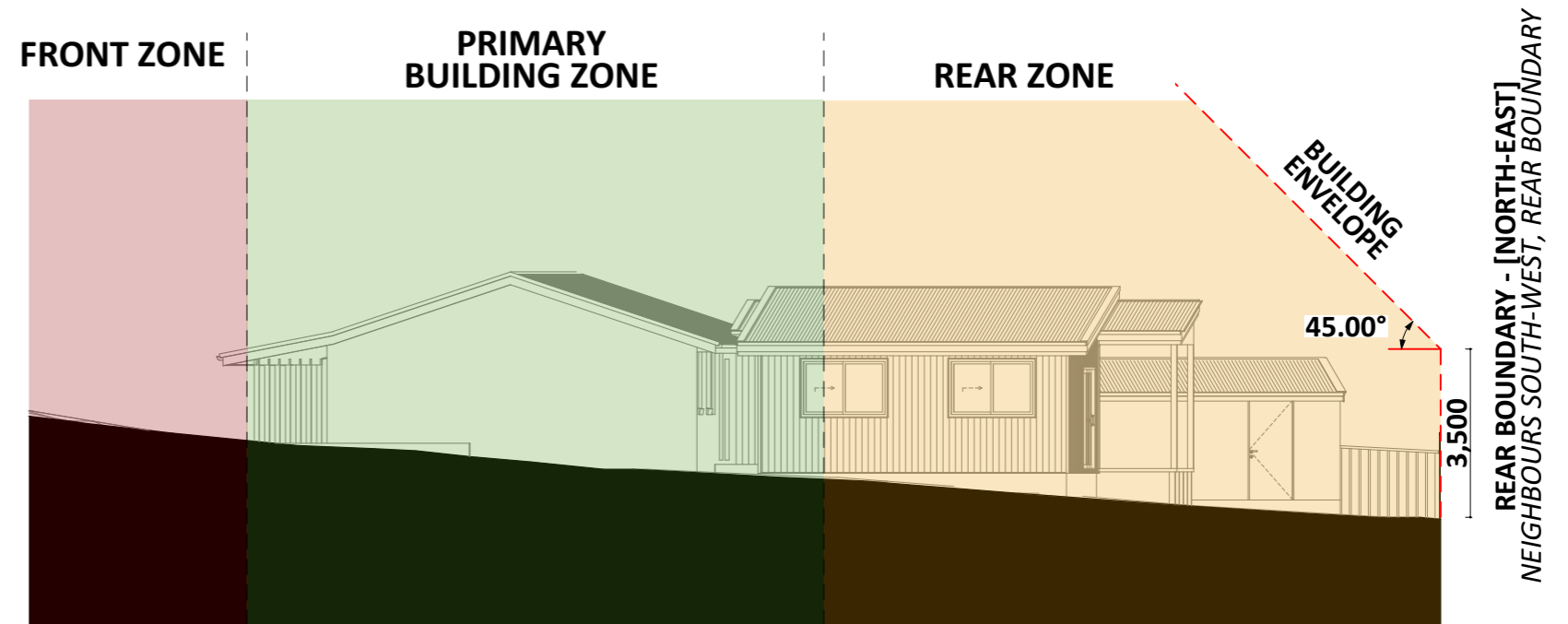
- ▶ **Large Blocks** (Greater than 500m<sup>2</sup>)
  - This rule applies to side and rear boundaries
  - Building Envelope Fence Height - 3.5 m
  - Angle of projection from Building Envelope Fence - 45 Degrees
- ▶ **Mid-Sized Blocks Approved after 5 July 2013** (250 m<sup>2</sup> to 500m<sup>2</sup>)
  - This rule applies to side and rear boundaries
  - Building Envelope Fence Height - 3.5 m
  - Angle of projection from Building Envelope Fence - 45 Degrees
- ▶ **Mid-Sized Blocks Approved before 5 July 2013** (250 m<sup>2</sup> to 500m<sup>2</sup>)
  - For North Facing Boundaries of Adjoining Residential Blocks (see below definition)
    - Building Envelope Fence Height
      - Primary Building Zone - 2m
      - Rear Zone - 2m
    - Angle of Projection from Building Envelope Fence
      - Primary Building Zone - 45 Degrees
      - Rear Zone - 30 Degrees
  - Note: if we are building on the boundary there can be different rules. Consult with Plannin Approvals Manager
  - For all other boundaries of adjoining residential blocks
    - Building Envelope Fence Height
      - Primary Building Zone - 4.5m
      - Rear Zone - 3.5m
    - Angle of Projection from Building Envelope Fence
      - Primary Building Zone - 45 Degrees
      - Rear Zone - 30 Degrees
  - For this rule: North Facing Boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated between 30 degrees east of north and 20 degrees west of north. This is only for Mid-Sized Blocks Approved before the 5 July 2013

**SOLAR BUILDING ENVELOPE**

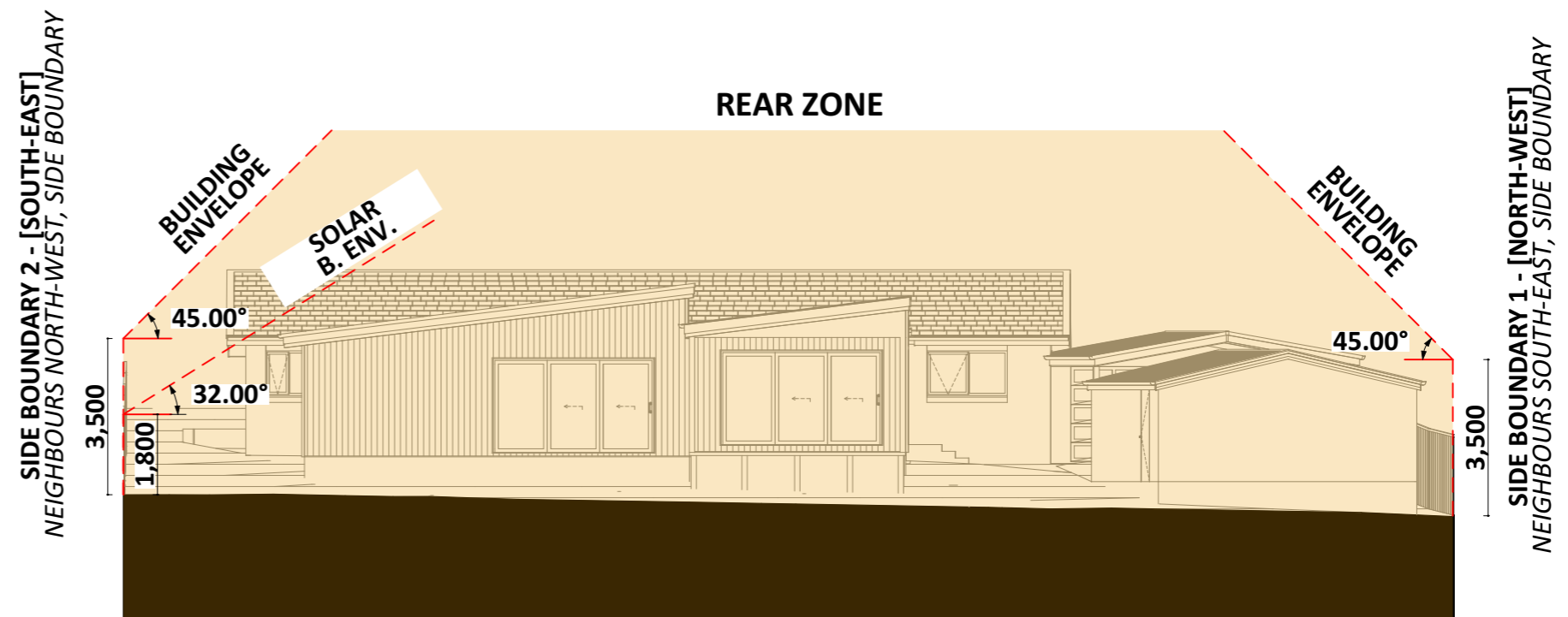
- ▶ **Large Blocks if Approved before 5 July 2013**
  - The Solar Building Envelope Rule applies to any Northern Boundary of an adjoining residential block.
  - Height of the Solar Fence is:
    - In the Front and Primary Building Zone - 2.4m
    - On all other parts of the boundary - 1.8m
- ▶ **All Blocks if Approved after 5 July 2013**
  - The Solar Building Envelope Rule applies to any Northern Boundary of an adjoining residential block.
  - Height of the Solar Fence is:
    - In the Front and Primary Building Zone - 3m
    - On all other parts of the boundary - 2.3m

**Table 1 – Apparent sun angle (X) at noon on the winter solstice (21 June)**

Aspect of northern boundary (bearing of line drawn perpendicular to the boundary)	Angle (X)
North 0° to <10° East	31°
North 0° to <10° West	31°
North 10° to <20° East	32°
North 10° to <20° West	32°
North 20° to <30° East	34°
North 20° to <30° West	34°
North 30° to <40° East	36°
North 30° to <40° West	36°
North 40° to 45° East	39°
North 40° to 45° West	39°



**S1 BLOCK PROFILE**



**S2 BLOCK PROFILE**



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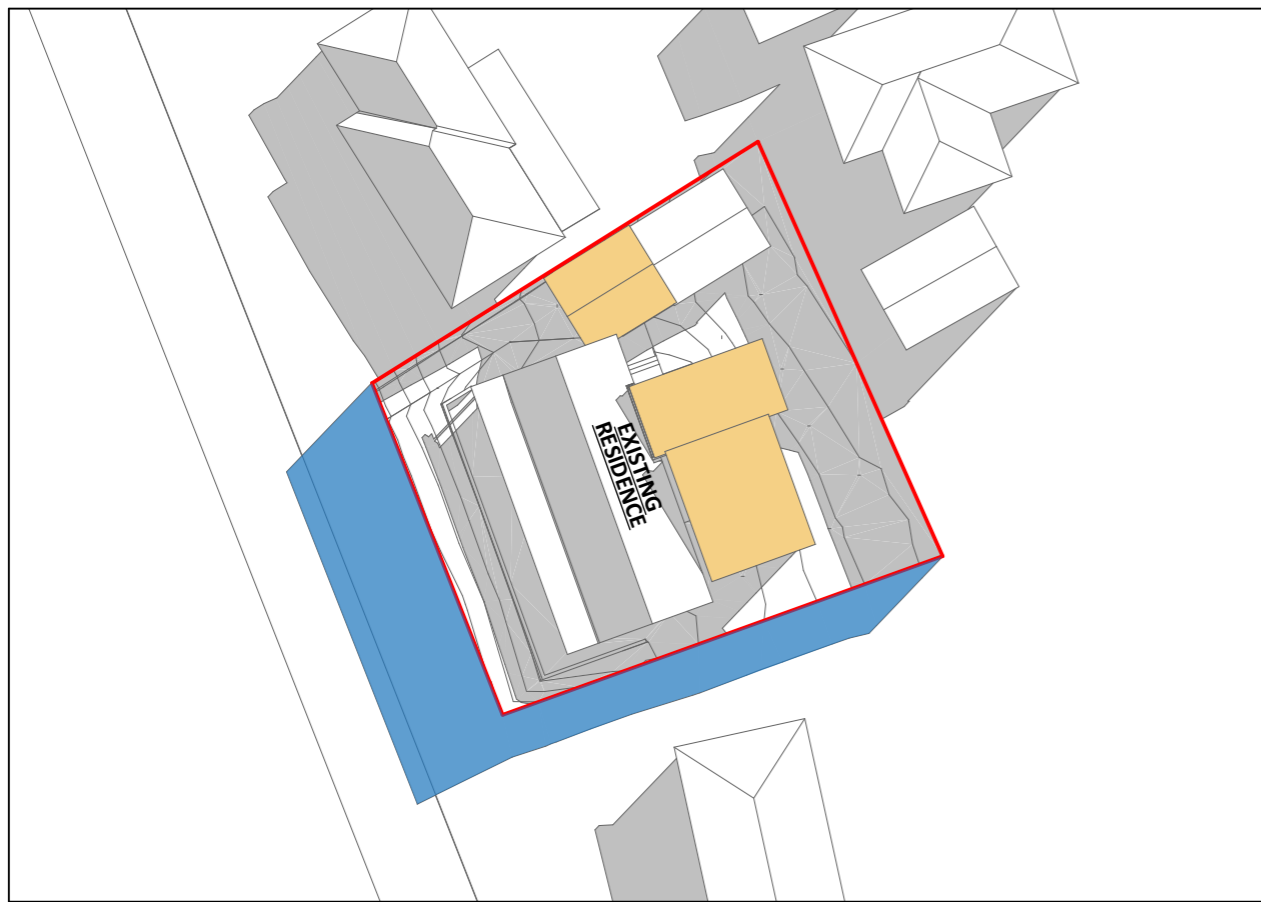
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CUSTOMER APPROVAL

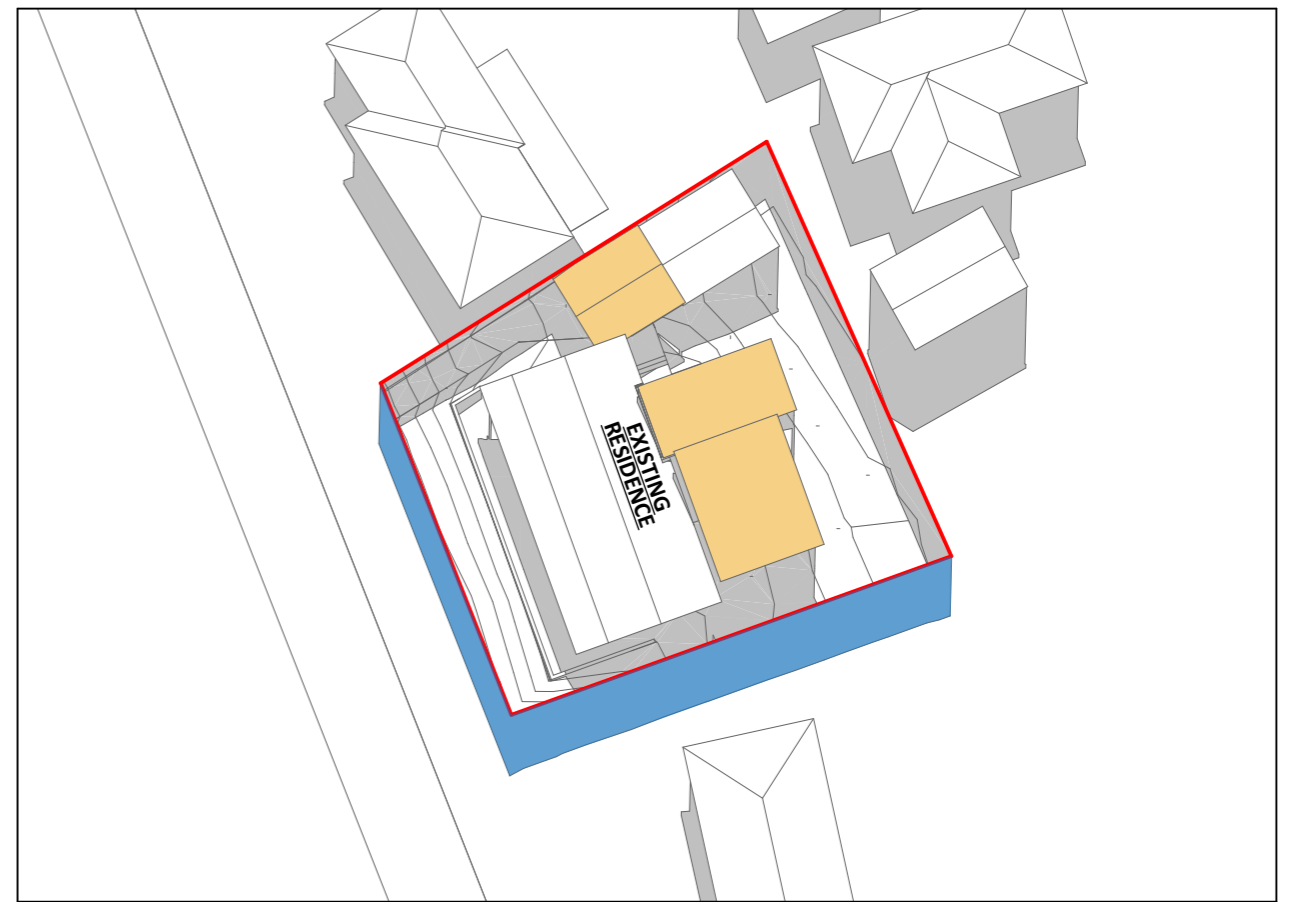
NAME	SIGNATURE	DATE

DRAWING NAME			
SOLAR AND BUILDING ENVELOPE			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:145	A3	4.3	0858

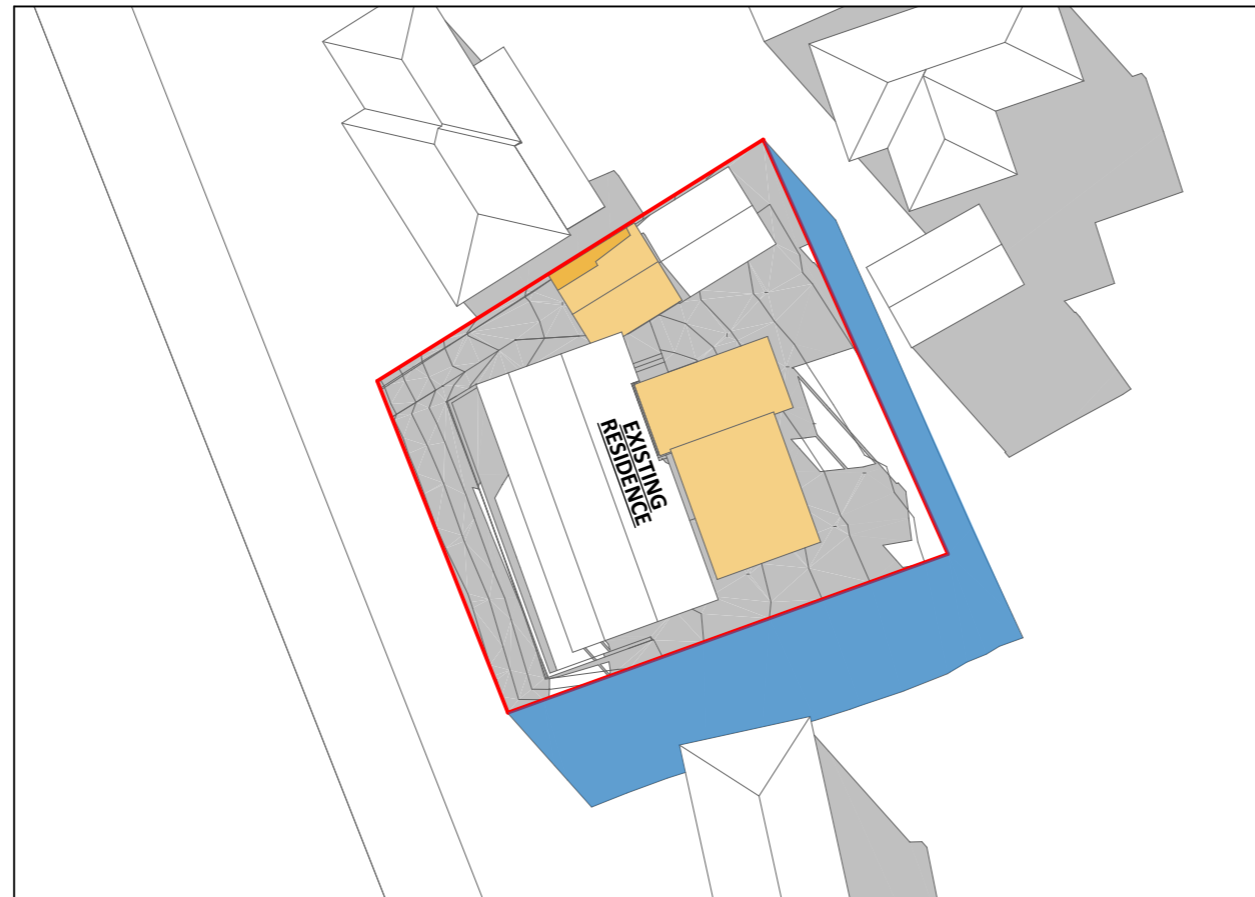




Sun-Winter - Jun 21 - 9:00 AM



Sun-Winter - Jun 21 - 12:00 PM noon



Sun-Winter - Jun 21 - 3:00 PM

**LEGEND:**

- THE ROOF AREA OF THE PROPOSED STRUCTURE. IN THE CASE OF AN ATTACHED EXTENSION, THE NEW ROOF CAN OVERLAP WITH THE EXISTING ROOF
- SHADOW OF THE EXISTING STRUCTURES IN THE AREA, AND ON THE CLIENTS BLOCK
- SHADOW OF A 2.40M HIGH SOLAR FENCE, CAST OUTSIDE OF THE CLIENTS BLOCK
- SHADOW OF EXISTING STRUCTURES, CAST OUTSIDE OF CLIENT'S BLOCK



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DRAWING NAME			
<b>SHADOW DIAGRAM - WINTER</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	4.4	0858